



# BUCKINGHAM TOWN COUNCIL

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Town Clerk: Claire Molyneux

INTERIM  
FULL COUNCIL

Wednesday, 19 April 2023

Councillor,

You are summoned to an Interim meeting of the Full Council of Buckingham Town Council to be held on Monday 24<sup>th</sup> April 2023, following an Extraordinary meeting of the Full Council at 7pm in the Council Chamber, Cornwalls Meadow, Buckingham.

Please note that the meeting will be preceded by a Public Session in accordance with Standing Orders 3.e and 3.f, which will last for a maximum of 15 minutes. Members of the public can attend the meeting in person. If you would like to address the meeting virtually, please email [committeeclerk@buckingham-tc.gov.uk](mailto:committeeclerk@buckingham-tc.gov.uk) or call 01280 816426 for details.

The meeting can be watched live on the Town Council's YouTube channel here:

<https://www.youtube.com/channel/UC89BUTwVpjAOElcSIfcZC9Q/>

Claire Molyneux  
Town Clerk

## AGENDA

### 1. Apologies for absence

Members are asked to receive apologies for absence.

### 2. Declarations of interest

To receive declarations of any personal or prejudicial interest under consideration on this agenda in accordance with the Localism Act 2011 Sections 26-34 & Schedule 4.

### 3. Major application – amended plans

22/02689/ADP Land at Osier Way, MK18 1TG

Erection of 121 dwellings along with landscaping, garages, roads, and all ancillary works (Phase I) following outline permission ref 19/00148/AOP.

Vistry/Wates (Buckingham) LLP



Twinned with Mouvaux, France; Neukirchen-Vluyn, Germany

Members are reminded when making decisions that the Public Sector Equality Duty 2010 requires Members to have due regard to the need to: Eliminate unlawful discrimination, harassment and victimisation and other conduct that is prohibited by the Act, advance equality of opportunity between people who share a characteristic and those who don't, and to foster good relations between people who share a characteristic and those who don't. All Committee documents can be found on the Buckingham Town Council's website. Alternatively, the Clerk can send you a copy of any minutes, reports or other information. To do this, send a request using the contact details set out above.

A briefing report from the Planning Clerk, and a note on the Design Code from Mr. R. Newall, Buckingham Society, are attached.

[IM/185/22](#)  
[Appendix A](#)

**4. Internal fund transfer**

To receive a report from the Town Clerk/RFO.

[IM/186/22](#)

**5. Committed expenditure**

To receive a report from the Assistant RFO.

[IM/187/22](#)  
[Appendix B](#)

**6. Income received**

To receive a report from the Assistant RFO.

[IM/188/22](#)  
[Appendix C](#)

**7. Fixed assets**

To receive a report from the Assistant RFO.

[IM/189/22](#)  
[Appendix D](#)

**8. Committed earmarked reserves**

To receive a report from the Assistant RFO.

[IM/190/22](#)  
[Appendix E](#)

**9. Chair's announcements**

**10. Date of next meetings:**

ASM & Full Council: Monday 22<sup>nd</sup> May 2023  
Interim Council: Monday 19<sup>th</sup> June 2023

**To:** All Councillors

# BUCKINGHAM TOWN COUNCIL

## INTERIM COUNCIL

MONDAY 24<sup>TH</sup> APRIL 2023

### Agenda item 3

#### 22/02689/ADP (amended plans, Major Application)

Land at Osier Way, MK18 1TG

Erection of 121 dwellings along with landscaping, garages, roads and all ancillary works (Phase I) following outline permission ref: 19/00148/AOP  
*Vistry/Wates*

Contact Officer:

Mrs. K. McElligott, Planning Clerk

### 1. Background

Members are referred to Report IM/70/22 for the Interim Council meeting of 23<sup>rd</sup> September 2022 for the original description of this phase of Osier Way.. Their response on that occasion was, with my April 2023 comments added:

- Members felt this application was premature, as the Design Code and Phasing Plan Discharge of Conditions applications had not yet been approved. *[It still hasn't; however a new and extensively revised Design Code has been submitted with these amended plans, which the Case Officer informs me is to be substituted for the original; the Discharge of Conditions is being dealt with by a different officer. The new Design Code will be valid for the whole estate, so any comments – particularly adverse comments – need to be made now]*
- There was no acknowledgement of the Buckingham Vision & Design SPD, and thus no vernacular references, including a complete lack of chimneys (whether functional or not). House designs - especially the bungalows – were very plain and the only building with any interesting detail is a garage. *[There is still no reference to the V&D SPD in the new Design Code document though there are some references to 'sweeping curves' typical of Buckingham street scenes and the materials typical of the town - for example at the Osier Way access "recognisably Buckingham (historic core) vernacular" seems to mean the house frontages right up to the pavement, even though this is about as far from the 'historic core' of the town as you can get and still be within the town boundary. Some house types now have decorative brickwork around the windows or a string course on the front elevation. The garage/carport with the interesting roof turret detail has been replaced with standard detached on-plot garages.*
- The tertiary roads and private drives are block paved, which is a maintenance-heavy treatment, and many are shared-surface. From past experience this Council does not favour either of these. *[The description of the shared surface roads now includes "the surface finish should be in blockwork, unless rules of adoption constrain this"]*.
- 35% of 420 is 147 Affordable dwellings, not 145. 40 are provided in this Phase, and Members assume the shortfall will be made up in another Phase. Some Affordable dwellings seem to be in an over-large group (Plots 7-22 (16) share a boundary with Plots 26-31 (6) and Plots 52-55 (4) are opposite them) – a cluster of 26 contiguous dwellings. No Affordable housing has a garage – though 3 dwellings share a carport - and thus there is no tenure-blindness. Plots without garages are supposed to be provided with a cycle shed in the garden, but this is not so for all of them. *[There is still a cluster of 26 Affordable Houses (see below). Note that the plots have been renumbered, so the 26 are now 9-24, 30-33 & 40-45. The Affordable Housing still has no garages – it has kerbside and driveway parking, but at least all the AH dwellings now have a shed for cycle parking.*
- Much of the parking is tandem, which is less convenient and can lead to on-street parking. Some parking bays and garages with driveways are separated from the dwelling by the length of the garden, and this means they are not provided with an electric vehicle charging point. If a freestanding EVC connection can be provided for parking in front of a plot, it cannot be impossible to provide one at the end of a plot, especially if the parking arrangements include a garage. Building Regulations state that every new house or flat should have an EVC facility, as of June 2020. *[This is still so, including the lack of EV charging points for some plots].*
- Members noted the concerns of Waste and Recycling, Thames Valley Police's Crime Prevention Advisor, and the SuDs team, and the response from Anglian Water. Because the refuse lorry is not venturing onto the block paving, there are bin collection points - the longest *labelled* (not all are) haul distance is 61m, well over the expected 25m. Two of the longer hauls are from bungalows for the disabled. *There have been some modifications to the refuse collection routes, but not many, and the bin collection points for houses beyond the*

*tarmacked roads are largely unchanged*]. Members look forward to some details of the sewage and storm water disposal arrangements. *[Now remedied, see below, p.12]*

- There is no indication of grey water recycling or solar panel installation, both considered selling points.
- Members suggest the applicants revisit some of these aspects while they wait for the Design Code to be approved, and then apply its terms and bring back amended plans. Meanwhile the vote to oppose was unanimous with abstentions from Shire councillors on the Area Planning Committee.
- They would also like the Highway Improvement works to be completed before the site works start; this worked well for the site between the bypass and Tingewick Road (17/04668/ADP) and given the separation of this site from the town by the industrial area, safe passage for new residents must be ensured before occupation commences.

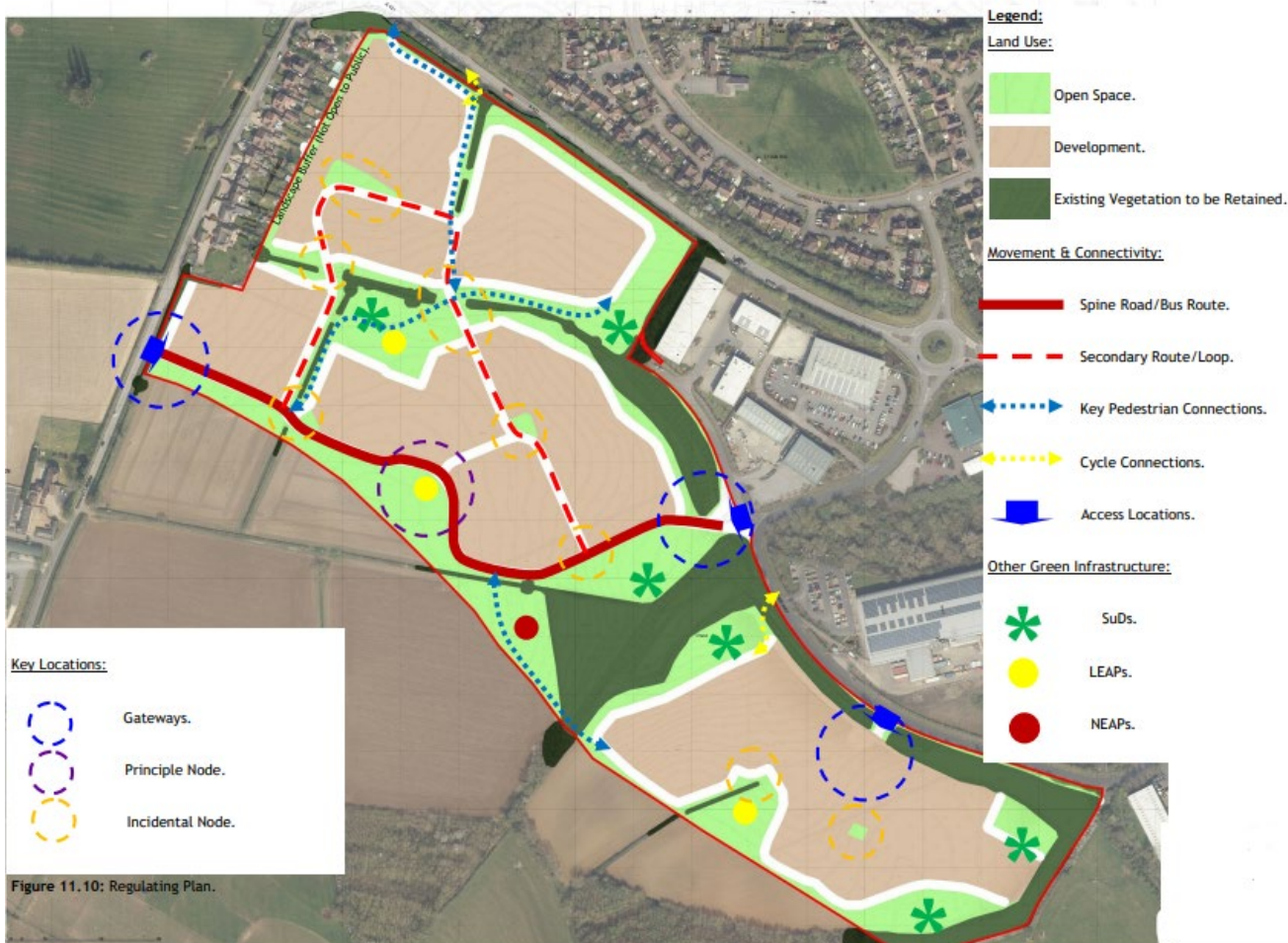
The Planning Committee had considered the Design Code offered for the discharge of Condition 8 of the approval of the Outline Plan for the whole estate (19/00148/AOP) at its August 2022 meeting, responding:

*Members were not impressed by the lack of actual content in the 110 page document and asked for a more definitive approach before the Reserved Matters applications were submitted.*

*In particular, they would like*

- *No shared surface streets – experience on other estates shows the disadvantages;*
- *No block paving, ditto;*
- *Some of the designated ‘private drives’, which are as long as the ‘streets’ in some cases, to be moved into the ‘tertiary’ class*
- *Confirmation of whether all the above such streets would be adopted by Buckinghamshire Council or left to the management company to maintain (document says ‘offered to BC for adoption’);*
- *Some sale dwellings to be suitable for disabled residents;*
- *The following Neighbourhood Plan policies to be acknowledged: DHE6 – Provision of good quality private outdoor space (for all dwelling types); I1 – Disabled access requirement for new pedestrian routes; I2 – Renewable energy generation (solar panels); I3 – Rainwater collection and re-use*
- *Wiring for EV charging connection to be standard for all dwellings and in parking courts;*
- *Broadband connection as standard before occupation;*
- *To state their support for Mr. Roger Newall’s detailed analysis as submitted.*

## 2. The Amended Plans – Layout and housing



New general layout plan for the whole site. Phase 1 (of 5) is the southeast section, divided from the northwest section by the woodland belt. SuDS are ponds to store excess rainwater and allow it to leak slowly into the drainage system. LEAPs and NEAPs are Local and Neighbourhood Equipped *[as opposed to informal]* Play Areas respectively.

The Design Code says that there is no need for vehicular connectivity with the remainder of the site as creating one 'would significantly impact the the existing woodland area and habitat qualities therein'. The highest density (35 dwellings per hectare – 'dph') of housing is to be in the northern corner behind the existing Gawcott Road houses and beside the bypass. The medium density (30dph) will be south of the Gawcott Road houses around the minor access point to Gawcott Road, and in the other two main areas accessed from Osier Way with a low density edge of 25dph. For comparison Lace Hill is c.32dph and St Rumbolds Fields 41dph.





Original layout – the changes are marked in red:

**1** straight road has been made curvier with houses set at angles to it; **2** detached garage/carport deleted to allow continuous road round corner (blue line) with houses placed to face it all the way round; **3** opening provided to allow eventual pedestrian/cycle path to neighbouring area; **4** entire side street deleted; **5** 4 plots amalgamated into terrace; **6** house rotated to face street; **7** houses realigned to form uniform building line; **8** house now set diagonally across corner; **9** houses set back to allow additional open space/landscaping; **10** & **11** Affordable detached bungalows (M4(3) type) deleted (replaced on side street to north, see 14); **12** 3 x Sale 2-bed bungalows of M4(2) type (see note to table below) deleted; replaced by 3 Sale 3-bed houses; **13** 2 x 2-bed Affordable bungalows (now across the road in 14) and 2 x 2-bed Sale bungalows of M4(2) type (type not replaced) deleted and replaced by 2 terraces of 3 2-bed Affordable houses; **14** 6 x 2-bed Affordable houses deleted and replaced across the road in 13 and now to be 4 x 2-bed Affordable bungalows (M4(3) type) – the other 4 of the 8 are between 10 and 11.

The housing breakdown for this phase is now as follows (original distribution in red where different):

	1-bed	2-bed	3-bed	4-bed	5-bed
Affordable (40)	2 maisonettes: (1 x ground floor M4(3); 1 x first floor standard)	(18) (8) houses 8 bungalows M4(3) 4 maisonettes: (2 x ground floor M4(3); 2 x first floor standard) 1 flat over 3 carports	6 (16) houses	1 (3) house	-
Sale (81)		6 houses 5 bungalows M4(2)	38 (55) houses	28 (15) houses	9 (6) houses
Totals	2 (2)	37 (24)	44 (71)	29 (18)	9 (6)

M4(2) = Accessible and adaptable dwellings (capable of future adaptation to use by the disabled). All now deleted so there is now no Sale housing for the disabled in this Phase.

M4(3) = Wheelchair user dwelling. Required provision of accessible dwellings is restricted to Affordable Housing by VALP.

The Affordable Housing layout has changed:



Affordable Housing grouping 2022



Amended plan 2023

### 3. The Amended Plans – other drawings

Other drawings seem only to be amended so far as the new road layout requires, see my commentary on our previous response above for more detail:

- Boundary Treatment Plan
- Car Parking Strategy
- Waste and Recycling Strategy

The following documents and drawings are dealt with separately below:

- Design Code (Mr. Newall's report is also attached)
- Drainage Design Report uploaded in 2 sections of 33pp and 12pp of tables of design settings and manhole schedules
- Illustrative Landscape Plan
- Levels and Drainage Strategy
- Flood Risk Compliance Report & Maintenance Plan
- Flood Routing

The following are not addressed in this report:

- 2 sheets of Long Sections through the site
- Plans and elevations for most of the house types listed on the schedule, and other buildings such as cycle stores; these cannot be finalised until the Design Code is agreed (whether via the Discharge of Condition 8, or this application).

### 4. The Amended Plans – Design Code: General

Members are advised that this Design Code has also been submitted (19/4/23) for the Discharge of Condition 8 of the approval of the parent plan 19/00148/AOP. The agreed response from Members will also be sent as a response to this DIS application.

A Design Code ought to be descriptive (detailed) and prescriptive. This is neither; it is produced to look like a work in progress, or the untidy result of many meetings with a design team: "handwritten" notes on drawings, green ticks for 'good things' and red Xs on 'bad' things, emphasis by crayoned box (example on p.6). It does not list any design features, whether mundane or distinctive, apart from the materials to be used, which are general rather than particular, and all 'accessories' are to be painted black (p.7); it makes no reference to the Buckingham Vision & Design Special Planning Document, though this is a retained document carried over from AVDC; many houses on corner plots are rendered but only white is on offer;

navigating the estate would be easier if different colour renders were used. There is much emphasis on the 'historic core of Buckingham' with its sweeping curved building lines.

It is unlikely that any sort of bus service will be available for this phase as the road network (see p.2) does not include even a 'secondary' grade street. The nearest bus-stops will therefore remain as Embleton Way (limited service) and Tesco on London Road.

Any text marked "..." is a cut-and-paste from the document.

## 5. The Amended Plans – Design Code: Street Hierarchy

Street Type	Minimum Building Setbacks	Front Boundary Treatment
Spine Road/ Bus Route:	3m Minimum.	Hedgerow with lawn and shrubs behind.
Streets:	2m Minimum.	Hedge with shingle behind of fill the set-back with verdant shrub planting that offer height not just ground cover.
Shared Surface:	1.2m Minimum on occasion, 2m Minimum ideally.	Fill with verdant shrubs that offer height not just ground cover.
Edge Streets:	3m Minimum but should vary to greater dimensions	Hedge with lawn and shrubs behind with ornamental tree where possible.

All the sections below are illustrated on pp37-44 of the Code document. One sketch is included below as an example. Each descriptive section ends with "The objectives of the diagrams opposite should be adhered to. Any deviation will require justification."

### "Primary street – spine road – bus route"

This is a bus route and the main spine through the majority of the site [*Phases 2-5, between Gawcott Road and Osier Way; see map on p.2*]. Numerous design opportunities can be explored for this street typology. For example, the street may or may not have a verge separating the cycleway or footpath from the carriageway. The determining factor for a verge is left *[to]* the Designer in their objective to create an attractive street. However, the following objectives must be met;

- A Cycleway must be provided on the South side.
- Verges must be a minimum of 3m deep.
- Build-outs should be explored to calm traffic speed, offer pedestrian crossing points and planting punctuating the carriageway.
- If a verge is proposed, a high kerb upstand should be used to help prevent verge parking. Where possible, i.e. adoption permits, verges will be planted with a mix of grasses that will offer height and/or wildflowers as opposed to poor quality grass that delivers a failed verges dominated with weeds."

### "Secondary street – loop"

This will be a well trafficked route within the site. The following objectives must be met;

- Build-outs should be explored to calm traffic speed, contain verdant planting and not be solely grass or hard-standing, along with appropriate street trees. This may mean that the build-outs are not offered for adoption and assigned to a Man. Co. in order to ensure longevity.

Alternatively or in addition to;

- A building set-back, where designed appropriately with considered overlooking, should be explored to offer a green oasis within the street scene. This space must offer a more significant degree of verdant under-storey planting and must offer a more significant tree than a typical street tree. This space should be conveyed to a Man. Co."

### "Tertiary street – cul-de-sac – shared surface"

Shared Surfaces. These areas will encounter light traffic use and usually start the formation of a cul-de-sac. The following objectives must be met;

- The surface finish should be in blockwork, unless rules of adoption constrain this.
- Unless rules of adoption constrain this, the drainage dish-channel should be formed by matching blockwork laid in stretcher course.



- Build-outs should be explored to calm traffic speed, contain verdant planting and not be solely poor quality grass or hard-standing, along with appropriate street trees. This may mean that the build-outs are not offered for adoption and assigned to a Man. Co. in order to ensure longevity."

#### "Quaternary – edge lane or shared private drive"

Edge Lanes. These areas will encounter light traffic use and usually connect - what would otherwise be - cul-desacs. The following objectives must be met;

- These should not be straight linear routes.
- The routes should meander allowing for more landscaping opportunities with private gardens.
- Narrowings should be explored to calm traffic speed. The narrowings should be formed in blockwork and contain a street tree in a grill/ pit."



"Shared Private Drives. These areas will encounter very light traffic use and not offered for adoption. The following objectives must be met;

- Where shared private drives are proposed, designers must offer pedestrian connectivity to the front of the drives."

#### **6. The Amended Plans – Design Code – materials**



Example - no actual suppliers or colour names are included

"Application of Material Coding.

Key Locations: The following must be adhered to unless justified otherwise: 100% Stock Brick. 100% Higher quality Roofing Material: - Slate (or Slate effect with thin leading edge). - Plain Tile (Duo Plain is acceptable). Chalk Render is acceptable.

Remainder of the Site: The following must be adhered to unless justified otherwise: 60% Stock Brick. 60% Higher quality Roofing Material. Chalk Render is acceptable.

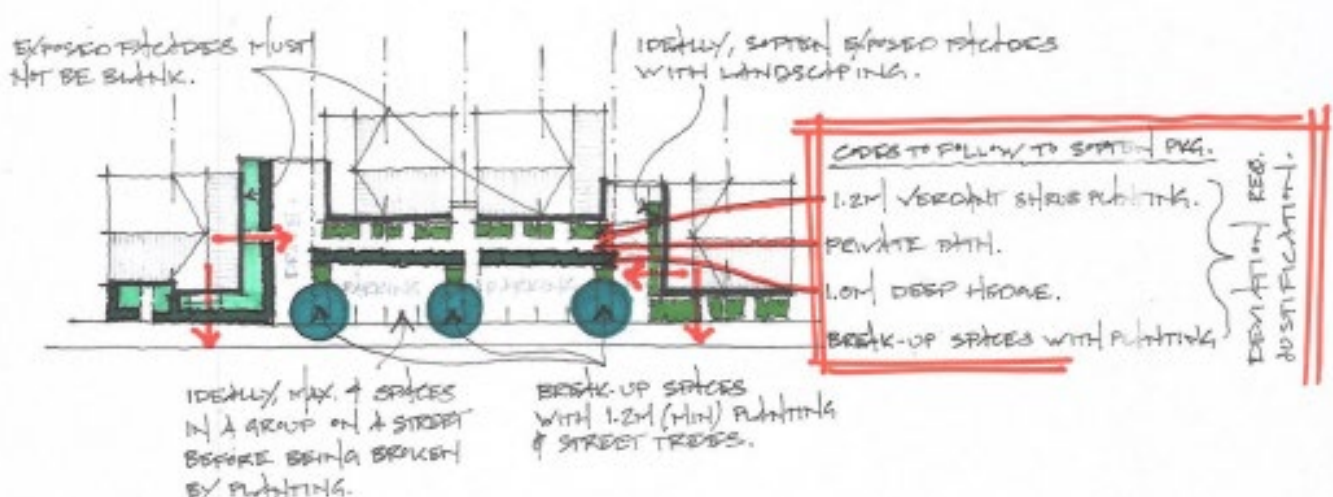
Other Materials. The following must be adhered to unless justified otherwise: All rain water goods will be black. All meter boxes will be black and to the side of the property wherever possible. All garage doors will be black. All front doors will be black. All bargeboard and fascias will be black unless in the Gawcott Road Sector where white will be permitted."

## 7. The Amended Plans – Design Code: Boundary Treatments

"Boundaries to Rear Gardens on Public Realm. All rear boundaries that are exposed\* to the public realm must be 1.8m high brick walls unless there are exceptional reasons. \*For clarity, the definition of exposed rear boundaries is defined as those boundaries that are prominent upon the public realm (streets and open spaces).

Gaps between houses and rear of parking bays can be fences.

Car Parking Typologies. A variety of car parking solutions are welcome and supported. It is anticipated that the vast majority of dwellings will be served via on plot (i.e. to the side) parking. Rear parking courts must be kept to a minimum in quantum and size and must only used for sound urban design reasons/objectives. Frontage parking will be supported so long as it follows the key principles outlined below.



Frontage Parking. Designers must follow the objectives set out in Figure 9.2 [above] and outlined below:

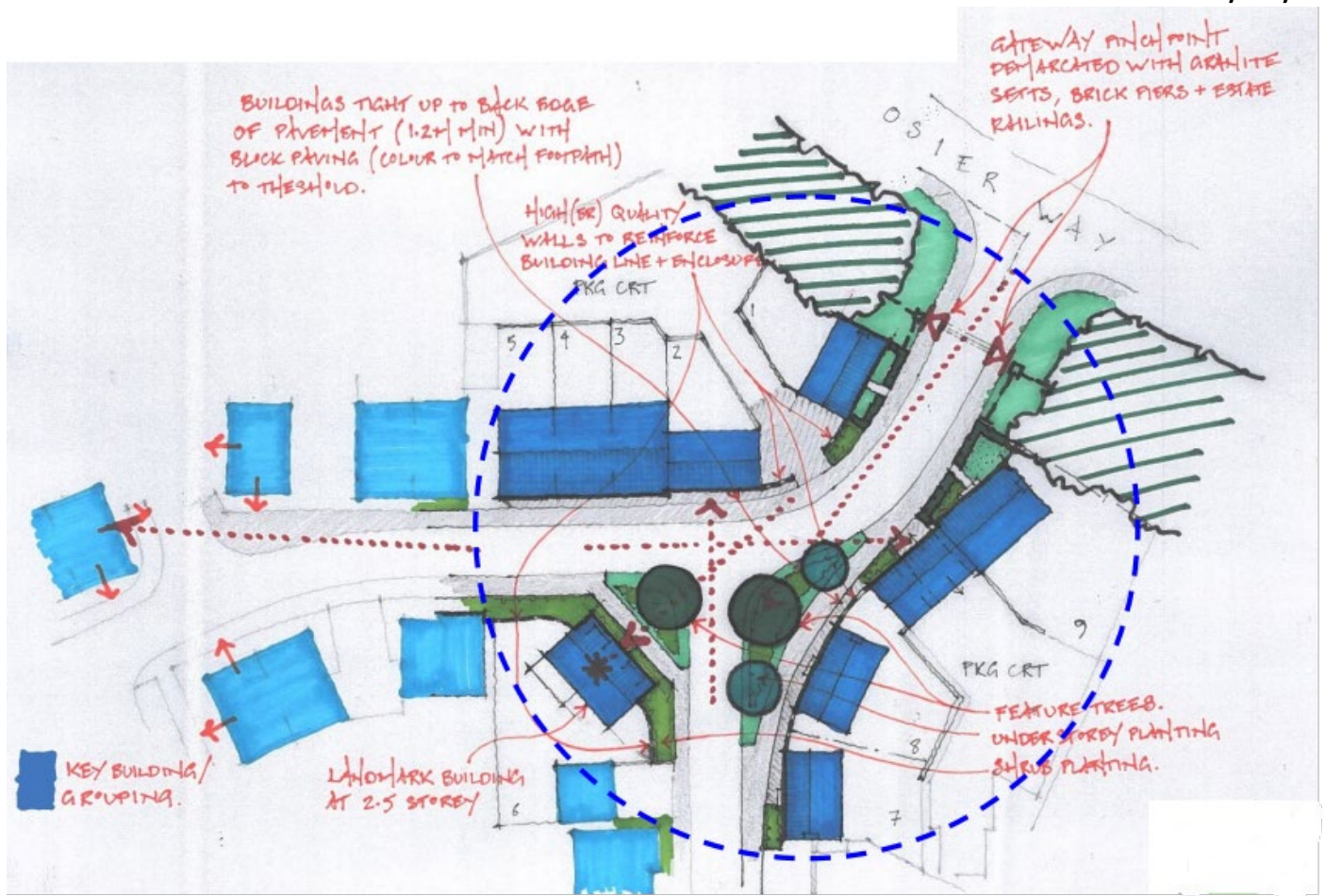
- No more than 4 spaces in a group without a landscape break.
- Spaces to be framed by verdant landscape, street trees and buildings.
- Exposed elevations that frame the space need thoughtful fenestration i.e. no blank elevations."

*One must assume the Management Company will see that the planting remains verdant in all weathers.*

## 8. Design Code: Principal Entrance (to this Phase) – "Southern Gateway"

"The gateway into this sector should be an intimate arrangement of building all working hard to define the street and create the sweeping building line described in earlier sections of the Code. The composition of dwellings should seek to allow for generous street planting and terminate vistas with recognisably Buckingham (historic core) vernacular." [Notes 5, 6 & 7 to the diagram on p.3 apply]





## 9. The Amended Plans – Design Code: Play Space (whole estate)

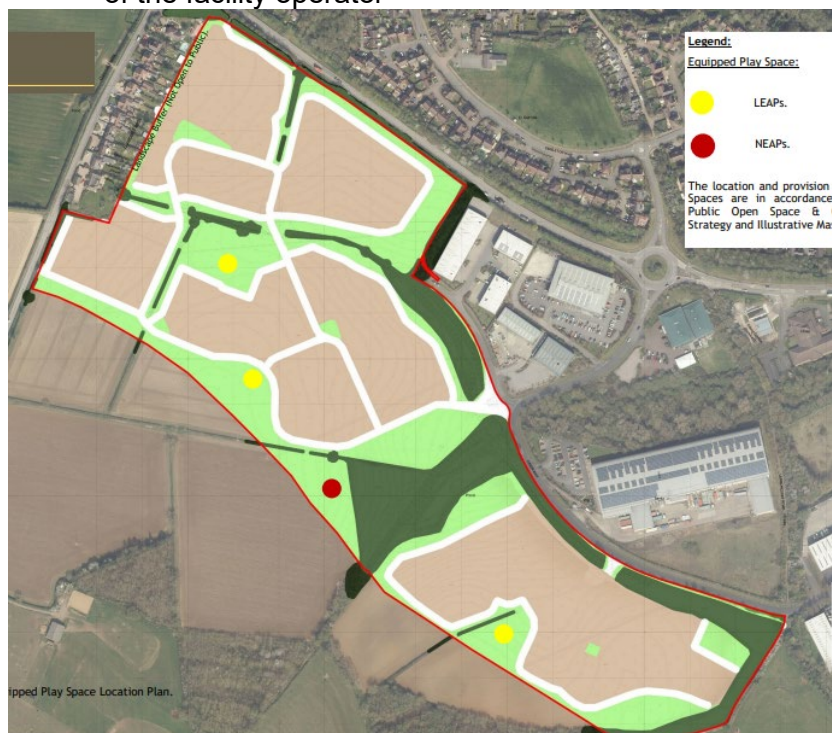
“Timber play equipment or that with a natural appearance should be used, this is especially important for the NEAP which is located on the periphery of the development adjacent to the countryside edge. The furniture in these spaces should be of a sensitive material to the edge of settlement location with a natural material, such as timber, being an obvious choice.”

See also Section 10 below: ‘Incidental space 1’

These 121 houses will only have access to a LEAP until the remaining phases are completed. A LEAP is intended for small (say, up to age 6) children who are beginning to go out and play independently and should:

- Be within five minutes’ walking time of any house it serves *[the straight-line distance to the furthest house is c250m; adult walking pace is c.4kph (1000m in 15 minutes) so this is met for adults]*
- Be positioned by a pedestrian route that is well used *[the ‘pedestrian route’ is the perimeter path which goes through a gap in the retained hedgerow – the diagonal green line beside the yellow dot in the plan below; how ‘well-used’ this will be remains to be seen]*
- Have a well-drained, reasonably flat site surfaced with grass or a hard surface, along with appropriate surfacing for play equipment or structures
- Have a buffer zone of 10m minimum depth separates activity zone and the boundary of nearest property, 20m minimum separates activity zone and habitable room facade of nearest dwelling
- Include stimulating, challenging play experience with provision for a minimum number of six play experiences is recommended, including provision for children with physical or sensory impairments
- Have adequate space for active play
- Have boundaries recognisable by landscaping, or fencing if the site adjoins one or more roads
- Have seating and litter bins provided

- Have a sign indicating the area is for children's play and dogs are not welcome, with contact details of the facility operator

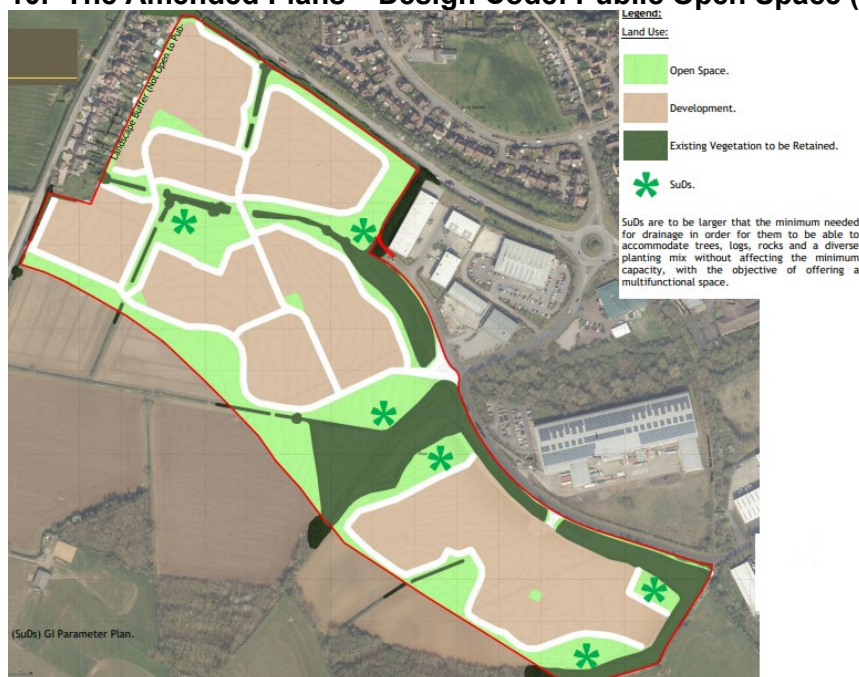


Note that these are the only 'community facilities' on offer for the total 420 houses. The Design Code calls the green area around the LEAP on the spine road the Primary Node and describes it thus:

"the meandering Primary Route connects to the Secondary Route in this location which then connects to the remainder of the Central Sector as well as the Northern Sector. It is also likely that a Bus Stop will be located in this area along with one of the proposed LEAPs. As a result, this space is a convergence of routes and accommodates some of the popular facilities, hence its importance within the scheme."

*Members might like to enquire what other 'popular facilities' might be accommodated, in case the bus service does not materialise (as Lace Hill's hasn't, yet).*

## 10. The Amended Plans – Design Code: Public Open Space (whole site)



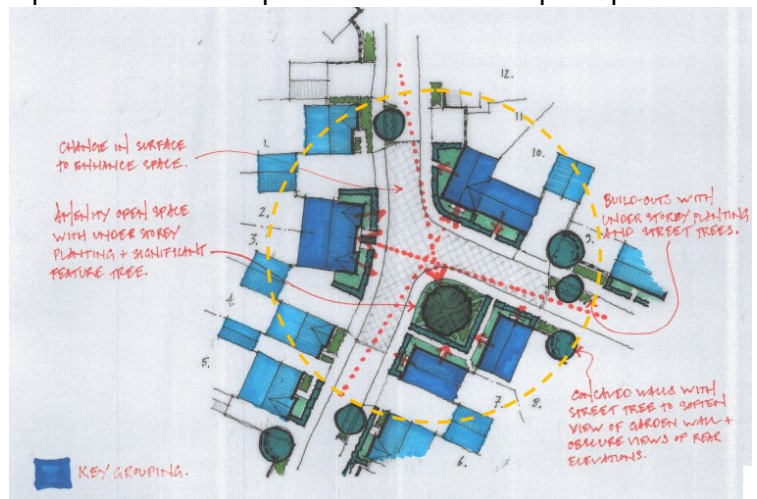
The isolated green spot in Phase 1 is Incidental Space 2. See below for details of what this amounts to.





Southern Sector - Incidental Space 1.

"The existing hedgerow to be retained along with the BNG [Biodiversity Net Gain] and LEAP area in this locale present[s] a complex space to design. Therefore, it is important to create a collection of dwellings and landscape features around the junctions and entrance into the open space that is thoughtfully considered to terminate vistas, enclose space and provide a landscaped entrance to the open space."



Southern Sector - Incidental Space 2.

"This, along with all other Incidental Spaces, should be formed around openings in built form that frames or terminates a modest area of amenity space. These spaces act as way-finders and/or sense of arrival within the development and should strive to offer added value into the scheme by way of material, appearance, relief by composition and landscape."

## 11. The Amended Plans – Landscape Strategy (Phase 1)

**Biodiversity Strategy.** Protected and notable species recorded on site include foraging bats, small numbers of grass snake, otter droppings - there was no presence of otters nor holts found on site - and hazel dormouse using the hedgerows and woodlands. This section seeks to establish the non-negotiables of achieving the necessary level of Biodiversity Net Gain.

**Proposed Net Gain.** The proposals for the site aim to deliver a net gain in biodiversity value through:

- Planting a new scrubby woodland linear feature along the south-western boundary of the site.
- Creation of scrub and diverse grassland within the site and around the proposed attenuation features.
- Management of the two woodland plots to the south of the site which currently support plantation woodland in poor condition.
- Management of retained woodland on the eastern side of the site and near the retained pond.
- New areas of scrub in the wider development which will include a range of native fruiting and flowering species.

- Enhancement of the existing pond, through thinning of trees and removal of non-native trees shading the southern shoreline.







Figure 4.2: Indicative area of thinning & removal of Southern shoreline.

*Part of the ploughed area to the right of the red outline is to become an attenuation pond, so I suppose 'shoreline' is a legitimate term.*

"Woodland Parcels. The existing off site woodland parcels to be brought into more sympathetic management consist of mixed plantation woodland and broad-leaved plantation woodland. The woodlands are of recent origin and largely have very sparse or no understorey with many trees still in their tree guards. The presence of rabbit and muntjac may be contributing to this alongside a lack of management aimed at increasing structural and age diversity. Based on the Farm Environment Plan (FEP) Manual condition assessment, which has been used as recommended in the Biodiversity Impact Assessment Calculator guidance notes, these woodland plots are in poor condition. The management proposals for these will aim to increase the condition of these woodland and will include:

- Increase age diversity through thinning of uniform age stands and plant younger trees and scrub of a range of species.
- Fence off the woodlands with deer proof fence and stop use as shelter for game birds.
- As part of thinning works, more mature trees will also be ring-barked to create standing dead wood of over 20 cm in diameter.
- Relax the current management of woodland edges and bring into a rotational cut to create a dense, flowering and fruiting margin to the woods."

These retained woodlands will be managed for dormice, through measures such as selective thinning to encourage a denser scrub layer to develop and the provision of nest boxes.

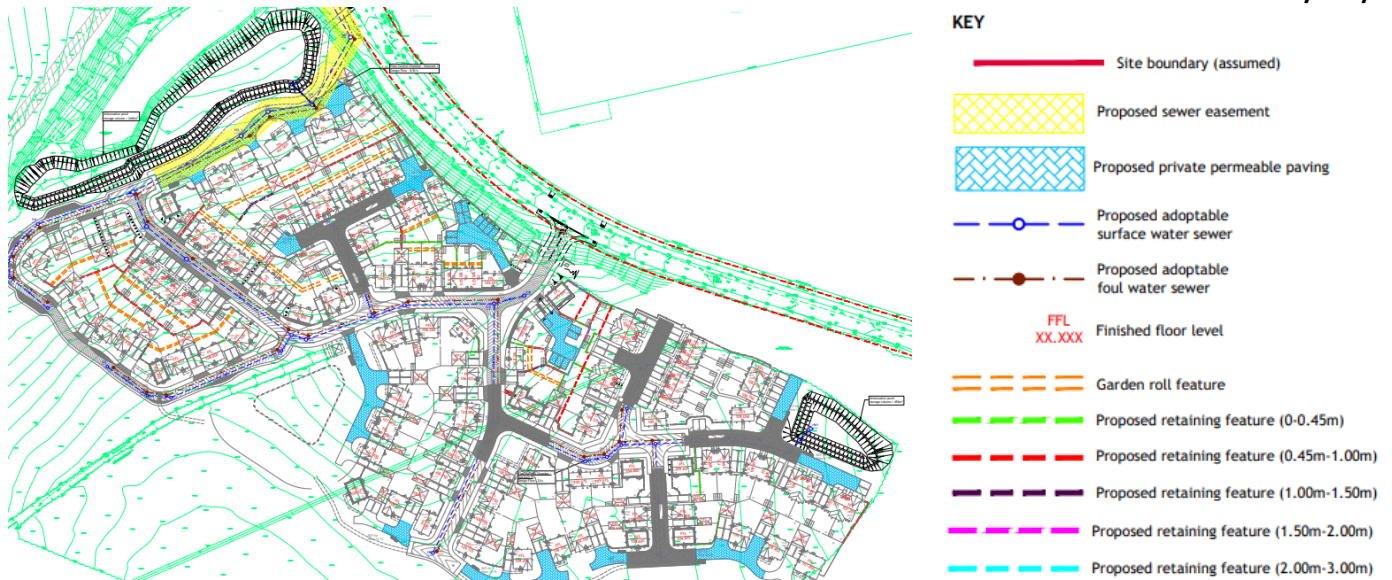
## 12. The Amended Plans – Drainage and Flooding

A new foul-water sewer is to be constructed along the northern edge (yellow shading) connecting into Osier Way. Surface water is to drain into the existing ditch, but note that a drawing label states

- Surface water network 1 drainage design to outfall into existing drainage ditch within the development at a rate of 8.5l/s.  
Existing drainage ditch to flow into an unknown location.  
Further investigation required.

Both surface and foul water drainage will be adopted by Anglian Water under a s104 Agreement.





All shared driveways and parking courts (blue) are designed to be permeable paving.



The black 'railway tracks' outlines are the banks around attenuation ponds

KM 19/4/23

Comments relating to Design Code submitted as part of revised details for planning application 22/02689/ADP.

### General points

The revised design code document has been included within the file relating to the reserved matters application under the above reference. However, the design code document is the subject of a separate submission for the discharge of condition 8 of planning permission 19/00148/AOP; this discharge application was received on the 22 July 2022 and remains undetermined.

The revised design codes submitted by Woods Hardwick leaves much to be desired. As per my previous comments from last August, this revision contains no Local Character Analysis, nor any reference to the Buckingham Vision and Design Statement adopted by the Local Planning Authority as supplementary planning guidance in 2001; other relevant adopted design policy is also overlooked, and neither is there any reference to the adopted Buckingham Neighbourhood Plan, design policy within the Vale of Aylesbury Local Plan, nor the NPPF.

Therefore, the submitted document has little substance as a template for how this proposed development should be built out.

Design codes are a set of illustrated design rules and requirements which instruct, and may advise on, the physical development of a site or area. The graphic and written components of the code are detailed and precise and build upon a design vision such as a masterplan or other design framework for a site or area. The codes set out the mandatory baseline minimum standard that is to be adopted for new developments. This revised document simply fails to do that!

### Detailed issues

Page 9 'purpose of code' – paras 1 and 5 of this revised document concentrates on the layout; the purpose of a design code is described above and should cover all aspects of the proposed development.

Page 10 – there are 'red crosses' indicating what shouldn't be done; this is unnecessary and confusing and should be deleted together with other pages containing them, as the document is supposed to include specific codes on what **should** be done.

Page 16 – the north east corner of Fig.24 shows existing hedgerows fragmented. This has been highlighted throughout the history of this proposed development and has still not been changed. Existing hedgerows should be retained within the proposed open space/s to preserve wildlife corridors.

Page 18 – 'active frontages and corner turners'. The quote 'façade must be attractively fenestrated', what does this mean? There should be illustrations/images explaining this. As there is no mention of window types within the document then this needs to be rethought.

Page 23 – 'type and form of buildings'. This page is far from what is expected within a design code. As mentioned, there is no local character analysis to base this upon!

Page 24 – how does this reflect local distinctiveness without a local character analysis?

Page 34 'external materials palette'. As with page 23 there is no detailed analysis of the external materials variety within Buckingham to base this on.

Page 35 – the materials shown here have no manufacturer reference and look unsuitable for Buckingham. There is no yellow hue brick, natural stone, or brick bonding information. Bricks should be of an orange/red hue; those shown here are too dark. The Town Hall is the perfect reference point for brick colour within Buckingham. Yellow bricks should match those at Markhams Court and/or the Villiers Hotel Annexe.

Page 36 – Concrete duo plain tiles are unacceptable as they do not reflect the local distinctiveness of Buckingham. Roof coverings should follow the example of the Lace Hill development where all roofs are either plain clay (Redland Rosemary Burnt Blend) or natural slate tiles.

Chalk render only, again this shows a lack of understanding of local distinctiveness. Within Buckingham there is a variety of coloured renders, pale blue, dark red, cream etc. and this should be reflected in the choice of material proposed here.

Furthermore, why are all the other materials black? As with render, front doors in Buckingham have a range of colours, which should also be reflected.

There is no reference to window frame colours or type, another detail sadly lacking here!

Page 46 It says here 'updated Allen Pyke open space typology plan' but this plan is missing!

Page 58 – there should be no rear parking courts as evidence shows these are little used due to security reasons and the tendency to attract anti-social behaviour. All parking courts, where required, should be to the front with dwellings fronting onto the space.

Garages should not be included as parking spaces unless they can accommodate modern SUV's with room for passengers to egress.

### **Other matters**

The street designs appear fairly standard, but until this document includes the missing information outlined above then comment is reserved.

There is no information relating to the space/s between dwellings or indicative minimum garden sizes.

There is little encouragement for climate change measures, for instance solar panels, which should be fitted to all dwellings and not just the affordable housing units. Furthermore, solar panels should be shown on the submitted house type drawings.

There is no information regarding any use of either air source or ground source heat pumps, which the developer should be encouraging as opposed to fitting gas boilers that are due to be phased out withing the next decade.

There is no information concerning grey water recycling or other forms of water saving measures.

### **Conclusion**

This revised document is no improvement on that submitted to in July 2022 and still lacks the relevant information upon which a design code should be based. The applicant/agent should study both national and local advice on the recommendations of how design codes are compiled, and then hopefully produce a document fit for purpose.

**BUCKINGHAM TOWN COUNCIL**  
**INTERIM FULL COUNCIL**  
**MONDAY 24<sup>th</sup> April 2023**

**Contact Officer: Town Clerk and RFO**

**1. Recommendations**

- 1.1. It is recommended that £430,000 be transferred from the current account into the savings account (The Public Sector Deposit Fund).

**2. Background**

- 2.1. The Council have a high interest account. The Town Clerk moves money to and from this account and the current account in order to accumulate as much interest as possible. During the 2022-2023 financial year the council made £11,065 income from this practice.
- 2.2. The Clerk (acting as the RFO) has the authority under Financial Regulations to move £100,000 at a time and transfers take 24-48hrs.
- 2.3. The current account has received the first half of the precept and at time of writing this report has around £680,000. Therefore, it is recommended to make a £430,000 transfer as soon as possible in order to take advantage of the high interest rate.
- 2.4. This recommendation is low risk and compliant with the Town Council's investment strategy.

**3. Background Information**

- 3.1. Unit 3 of the Buckingham Town Council Investment Policy.

“SPECIFIED INVESTMENTS - Specified Investments are those offering high security and high liquidity, made in sterling and maturing within a year. Such short-term investments made with the UK Government, or a local authority or town parish council will automatically be Specified Investments.

For the prudent management of its treasury balances, maintaining sufficient levels of security and liquidity, the Council will use: Deposits with banks, building societies, funds specific for Town and Parish Councils, local authorities or other public authorities, including the **CCLA Public Sector Deposit Fund**. The Council's investments for the financial year will consist entirely of Specified Investments



**Buckingham Town Council**  
**Interim Full Council**  
**Monday 24<sup>th</sup> April 2023**

**Contact Officer: Jodie Baughan – Assistant RFO**

Committed Expenditure

**1. Recommendations**

- 1.1. It is recommended that Members agree to carry forward the committed expenditure from the Financial Year ending 2023 to the financial year ending 2024.

**2. Background**

- 2.1. Any item that has been purchased from the current financial years' budget with an official Purchase Order but that has not been invoiced by the supplier is known as a committed expenditure.
- 2.2. At the end of each Financial Year a list of committed expenditure still to be invoiced by suppliers is made.
- 2.3. This committed expenditure needs to be carried forward and added to the new financial year's budget so that once the invoice arrives the cost is taken from the correct financial year's budget.



**Buckingham Town Council**  
**Interim Full Council**  
**Monday 24<sup>th</sup> April 2023**

**Contact Officer: Jodie Baughan – Assistant RFO**

Income Received in Advance of Financial Year

**1. Recommendations**

- 1.1. It is recommended that Members agree to carry forward any income received in Financial Year ending 2023 to the financial year ending 2024.

**2. Background**

- 2.1. Income that has been received in the current Financial Year but is for use in the next financial year is known as a Receipt in Advance.
- 2.2. Any Receipts in Advance will need to be carried forward into the next financial year and will show on the next financial year's budget.

12/04/2023  
12:25

**Buckingham Town Council**

Page 1

**Detailed Income & Expenditure by Account 31/03/2023****Month No: 12****Account Code Report**

	Actual Year to Date	Current Annual Bud	Budget Variance	Committed Expenditure	Funds Available	% Spent
<b><u>Income Detail</u></b>						
1097 Grants Received	2,000	0	(2,000)	TVP CCTV FUNDING		



**Buckingham Town Council**  
**Interim Full Council**  
**Monday 24<sup>th</sup> April 2023**

**Contact Officer: Jodie Baughan – Assistant RFO**

Fixed Assets


**1. Recommendations**

- 1.1. It is recommended that Members agree and note the changes to the fixed asset register during the Financial Year ending 2023. Assets are items with a value of £1000.00 or more (unless significant to The Council or community). An asset that has been gifted to The Council or has an unknown original value will always have an asset value of £1. Items deemed unfit for use, because they have become damaged or outdated and no longer function efficiently should be disposed of and removed from the fixed asset register.

**2. Background**

- 2.1. Items that have been purchased during the current Financial Year and meet the agreed criteria should be added to the Fixed Asset Register.
- 2.2. Items that have been disposed of during the current Financial Year and that meet the agreed criteria should be removed from the Fixed Asset Register.
- 2.3. Sometimes it is necessary to make corrections to the current fixed asset register. It has been noted that a few items transferred to the Rialtas version from an original fixed asset spreadsheet (by Rialtas), were transferred across with the incorrect values. These should be corrected and entered with the correct original cost.

<b><u>FIXED ASSETS RECONCILIATION 2022 2023</u></b>		
<b>Total as @ 31/3/22</b>	<b>2501526</b>	
Add MISC33 (SWAN SCULPTURES)	6872	
Add CER35 (TOWN CLERKS WIG)	491	
Add MEQP43 (TODDLER UNIT CHANDOS)	9886	
Add VEC06 (TIPPER TRUCK RK72 HZG)	30883	
	<b>48132</b>	
Remove MISC32 (OTTER SCULPTURES)	1260	
Remove CER29 (TOWN CLERKS WIG)	1	
	<b>1261</b>	
Amended Values (Rialtas transfer error)		
Remove diff between values MISC31 (BANNERS)	183398	
Remove diff between values INF43 (METAL BENCH)	55603	
Remove diff between values INF42 (LITTER BIN)	52896	
	<b>291897</b>	
<b>Total as @ 31/3/2023</b>	<b>2256501</b>	

Cordwallis Group Cordwallis St Maidenhead Berkshire SL6 7BE		<b>ISUZU</b>		Quote No LJ-BTC211029  Date 29/10/2021		
<b>Customer Details</b>						
FAO	Lee Phillips	of	Buckingham Town Council			
Email	greenspaces@buckingham-tc.gov.uk		Customer Address	The Buckingham Centre Verney Close Buckingham		
Contact Number	01280 816426		Postcode	MK18 1JP		
O-License Number	na					
<b>Vehicle Details</b>			<b>Summary of Costs</b>			
Vehicle Model	N35.125 Utilitruck		Chassis List Price	£33,156.00		
			Chassis Price after Discount	£29,625.00		
				<b>RRP Saving £3531</b>		
Wheelbase	LWB		Dealer Accessories & Bodywork	£448.00		
Transmission	6-Speed Manual		Paintwork			
<b>Dealer Accessories</b>						
Rubber floor mats for cab	£49.00		Delivery, PDI, Plates	£810.00		
Seat covers fitted (dark grey with logo)	£149.00					
Chapter 8 Chevrons supplied & fitted	£250.00		<b>SUB TOTAL (excl VAT)</b>	<b>£30,883.00</b>		
			VAT @ 20%	£6,176.60		
			RFL incl 1st Reg Fee	£330.00		
			Down Payment (if taken)			
<b>Additional Bodywork</b>			Part Exchange (incl VAT)			
			<b>Total to pay (incl VAT, RFL &amp; FRF)</b>	<b>£37,389.60</b>		
			<b>R&amp;M Guide Pricing</b>			
			PMI Freq. (weeks)	Term (months)	KM per Annum	Monthly Cost
						<b>tbc</b>
<b>Paintwork/ Livery</b>			Scheduled Servicing	Repair & Overhauls	Annual Testing	Recovery Roadside Assist
Cab	Isuzu Arctic White					Accident/ Damage not included
Body						
Additional						
Please refer to attached R&M quote for full details						
I would like to opt in to the R&M Contract: Y / N						
I/We agree to purchase from Cordwallis Group Ltd the new vehicle(s) as detailed, and at the price set out, above. I/We confirm that we have read, understood, and agree to be bound by Cordwallis Group Ltd's General Terms & Conditions in relation to such purchase.						
Signature: 		Position: <b>TOWN CLERK</b>				
Company: <b>BUCKINGHAM TOWN COUNCIL</b>		Date: <b>23/11/2021</b>				
		Quantity	1		<b>Cordwallis Group</b>	



Invoice from  
Making Trails  
48 Worthington Lane  
Newbold, Coleorton  
Leics  
LE67 8PH

Invoice to  
Buckingham Town  
Council

### Invoice

Invoice number	031
Purchase Order	10112094
Invoice date	08.08.2022

Item	Description	Qty	Price	Total
01	Sculpture design	1	250	250
02	Materials	1	2052	2052
03	Manufacturing/finishing/priming	1	4370	4370
04	delivery	1	200	200
Sub Total				6872
Total				<b>£6,872</b>

Please send payment within 14 days of receiving this invoice.

### PLEASE MAKE PAYMENT TO

Name: Making Trails  
Account Number: 15044238  
Bank Name: Natwest  
Sort Code: 52-10-35

Thank you for your business



# INVOICE

Buckingham Town Council  
The Buckingham Centre  
Verney Close  
Buckingham  
Buckinghamshire  
MK18 1JP

**Invoice Date**  
29 Sep 2022

**Invoice Number**  
INV-MCR2129

**Reference**  
Order No: 10112144

**VAT Number**  
174 307 414

Michaels Civic Robes  
Suite 4 Ashfield House  
12 Ashfield Road  
Cheadle  
SK8 1BB

Item	Description	Quantity	Unit Price	VAT	Amount GBP
WIG001	Town Clerk Wig	1.00	478.95	20%	478.95
DPD001	DPD Delivery	1.00	12.50	20%	12.50
Subtotal					491.45
TOTAL VAT 20%					98.29
TOTAL GBP					589.74

**Due Date: 29 Oct 2022**

PLEASE MAKE PAYMENTS TO  
MICHAELS CIVIC ROBES  
ACCOUNT: 03334902  
SORT CODE: 20-49-08



[View and pay online now](#)



Good design  
for children

**SutcliffePlay**

Waggon Lane  
Upton Ponteract  
West Yorkshire WF9 1JS  
Telephone +44 (0)1977 653200  
Facsimile +44 (0)1977 653222  
info@ sutcliffeplay.co.uk  
www. sutcliffeplay.co.uk

# Invoice

**Invoice Number** OP/I120620  
**Invoice Date** 16/09/22  
**Your Ref** 10112046

## Invoice Address

BUCKINGHAM TOWN COUNCIL  
 THE BUCKINGHAM CENTRE  
 VERNEY CLOSE  
 BUCKINGHAM  
 BUCKS

## Order Received

27/06/22

## Our Order Number

I67739

## Est. Despatch Week Commencing

16/09/22

## Account

BUC002

## Delivery Address

CHANDOS PARK  
 BUCKINGHAM  
 MK18 1AJ

Product Code	Description	Quantity	Price	Discount %	Nett Price	Value	VAT
04 DZW481	TODDLERZONE UNIT DZW481	1	11770.00	20	9416.00	9416.00	G
CR	CARRIAGE AND PACKING CHARGES	1.000	470.80		470.80	470.80	G
CONTACT: LEE PHILLIPS - 01280 816426							

## VAT Summary

VAT Code	VAT Rate	Goods Value	VAT Charged
G	20.00	9886.80	1977.36

<b>Goods Value</b>	9886.80
<b>VAT Value</b>	1977.36
<b>Total</b>	<b>11864.16</b>

Payment is due within 30 days following the date of Invoice. All goods supplied remain the property of Sutcliffe Play Ltd., until paid for in full.

These goods are supplied subject to our CONDITIONS OF SALE. Claims for damage, shortage or non-delivery must be made within 14 days of delivery or invoice date.

**Buckingham Town Council**  
**Interim Full Council**  
**Monday 24<sup>th</sup> April 2023**

**Contact Officer: Jodie Baughan – Finance Officer**

Committed Earmarked Reserves

**1. Recommendations**

- 1.1. It is recommended that Members agree to carry forward any committed earmarked reserve expenditure from the financial year ending 2023 to the financial year ending 2024. This report concerns committed items only and is not a discussion of the EMR for the coming year.

**2. Background**

- 2.1. Any item that has been purchased from the current financial year's budget with an official Purchase Order but that has not been invoiced by the supplier is known as a committed expenditure.
- 2.2. Any such committed expenditure will need to be carried forward into the next financial year and will show on the next financial year's budget.

## Buckingham Town Council

Page 1

17/04/2023

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## Expenditure Detail (Committed Only) by Budget Centre

				<----- Expenditure Analysis ----->						
<u>Ord Number</u>	<u>Month</u>	<u>Ord Date</u>	<u>Supplier Name</u>	<u>Order</u>	<u>Committed</u>	<u>Code</u>	<u>Centre</u>	<u>Expenditure</u>	<u>Invoiced</u>	<u>Balance</u>
10111717	10	02/02/2021	GM Utilities Ltd	Active	Yes	9050	901	60,959.03	50,363.98	10,595.05
10112133	6	09/09/2022	GM Utilities Ltd	Active	Yes	9035	901	14,367.40	12,137.40	2,230.00
10112161	7	19/10/2022	GM Utilities Ltd	Active	Yes	9050	901	2,668.29		2,668.29
10112241	11	09/02/2023	Langley Design	Active	Yes	9052	901	3,790.00		3,790.00
10112244	11	09/02/2023	Langley Design	Active	Yes	9052	901	185.00		185.00
Ear-marked reserves Totals :								81,969.72	62,501.38	19,468.34
<b>Total Expenditure</b>								81,969.72	62,501.38	19,468.34